



online

## ORDINANCE NUMBER 2540

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED, SO AS TO AMEND A SPECIFIC USE PERMIT AND ASSOCIATED SITE PLAN TO ALLOW AWNING AND SIGN MODIFICATIONS FOR A NON DRIVE-IN RESTAURANT WITH OUTSIDE SALES WINDOW LOCATED AT 4151 LBJ FREEWAY AT THE NORTHWEST CORNER OF VALLEY VIEW LANE AND LBJ FREEWAY AND WITHIN THE PLANNED DEVELOPMENT NO. 68 (PD-68) ZONING DISTRICT; REPEALING ORDINANCE NUMBER 2018; PROVIDING FOR INJUNCTIVE RELIEF; PROVIDING FOR SEVERABILITY; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Farmers Branch deems it necessary, for the purpose of promoting the health, safety, morals, or general welfare of the City to enact a new zoning ordinance; and

WHEREAS, the City Council has appointed a Planning and Zoning Commission to recommend the boundaries of the various original zoning districts and appropriate regulations be enforced therein and to recommend a new zoning ordinance to amend, replace and restate the existing Ordinance Number 2108 as amended; and

WHEREAS, the Planning and Zoning Commission has divided the City into districts and has prepared regulations pertaining to such districts in accordance with a comprehensive plan and designed to lessen congestion in the streets; to secure safety from fire, panic, and other dangers; to promote health, general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; and

WHEREAS, the Planning and Zoning Commission, has given reasonable consideration, among other things, the character of the districts and their peculiar suitability for particular uses, with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the City; and

WHEREAS, the City Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the state law with reference to the granting of changes to the zoning



classifications under the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that due to a change in condition and in order to protect the public health, welfare and safety, said change in zoning should be made;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:**

**SECTION 1.** That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the Zoning Map of the City of Farmers Branch so as to amend a Specific Use Permit and associated site plan to allow awning and sign modifications for a non drive-in restaurant with outside sales window located on a 0.767 acre tract of land at the northwest corner of Valley View Lane and LBJ Freeway, specifically addressed as 4151 LBJ Freeway, and within the Planned Development Number 68 (PD-68) zoning district.

**SECTION 2.** That the proposed pole sign shall not exceed 50 feet in height and 300 square feet in area.

**SECTION 3.** That sufficient trees shall be added to bring the site into compliance with the approved landscape plan before any building permits are issued.

**SECTION 4.** That the above described property shall be used only in the manner and for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch as herein amended by the granting of a specific use permit and approval of an associated site plan for a non drive-in restaurant with outside sales window to be constructed, situated and located in accordance with the approved site plan attached as Exhibit "A", file dated May 4, 2000 and subject to all conditions stated herein.

**SECTION 5.** That Ordinance No. 2018 is hereby repealed.

**SECTION 6.** If any section, paragraph, subdivision, clause, phrase or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

**SECTION 7.** That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punished by a fine not to exceed the sum of two-thousand (\$2,000.00) dollars for each offense.

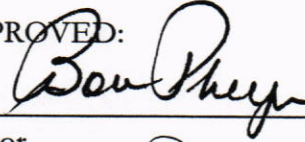
**SECTION 8.** In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

**SECTION 9.** This ordinance shall take effect immediately from and after its passage as the law in such case provides.



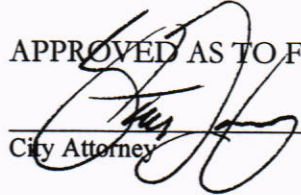
DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH,  
TEXAS, on this the 15<sup>th</sup> day of May, 2000.

APPROVED:



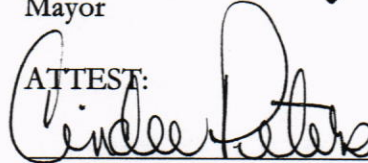
Mayor

APPROVED AS TO FORM:



City Attorney

ATTEST:



City Secretary



# GENERAL NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERTINENT AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE TACO BELL CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS ETC.
3. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES ETC.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOIL, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-998. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THE A.L.T.A. SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
7. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY TACO BELL CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY REPAIR OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8. WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K" DIAMETER SHALL BE AS NOTED ON THESE PLANS AND SHALL BE INSTALLED WITH 24" MINIMUM COVER OR BELOW FROSTLINE WHICHEVER IS GREATER. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPLICANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.

## CONSTRUCTION NOTES:

1. CONSTRUCT 5" P.C.C. CONCRETE PAVEMENT CONFORMING TO TEXAS DEPARTMENT OF TRANSPORTATION ITEM 384 ON A COMPACTED SUBGRADE (MIN 8" THICK COMPACTED TO MINIMUM 95% STANDARD PROCTOR DENSITY) IN ALL PAVED AREAS EXCEPT IN DRIVE THRU WHICH SHALL CONFORM TO SOME SPECIFICATIONS, BE BLACK AND HAVE A THICKNESS OF 6". REINFORCE WITH #4 BARS SPACED AT 18" O.C. W. CONTINUED REINFORCEMENT THROUGH ALL CONTRACTION AND CONSTRUCTION JOINTS. PLACE CONTRACTION OR CONSTRUCTION JOINTS AT 17' MAXIMUM EACH WAY. CONSTRUCT EXPANSION JOINTS WITH DOWELS ONLY AT THE TWO DRIVEWAY ENTRANCES. EACH EXPANSION JOINT SHALL HAVE SMOOTH DOWEL BARS FOR LOAD TRANSFER, #6 x 24" LONG SPACED AT 18" O.C. USE PREFORMED EXPANSION JOINT MATERIAL AGAINST BUILDING.
2. CONSTRUCT 6" P.C.C. CURB PER DETAIL SHT. A1C.
3. CONSTRUCT 6" P.C.C. CURB & CUTTER PER DETAIL SHT. A1C.
4. CONSTRUCT P.C.C. SWALE PER DETAIL SHT. A1C.
5. CONSTRUCT P.C.C. CURB EDGE SIDEWALK PER DETAIL SHT. A1C.
6. CONSTRUCT P.C.C. SIDEWALK PER DETAIL SHT. A1C.
7. CONSTRUCT P.C.C. RAMP - MAX SLOPE 1:12, PER DETAIL SHT. A1C.
8. CONSTRUCT P.C.C. DEPRESSED RAMP PER DETAIL SHT. A1C.
9. CONSTRUCT 6" THK. P.C.C. PAD W/ 6" x 6" #10/10 W.W.M. (CONST. JTS. 12'-0" O.C.) OVER CRUSHED AGG OR GRAVEL BASE.
10. CONST. SINGLE/DOUBLE TRASH ENCL. ON 6" P.C.C. PAD PER DETAIL SHT. A1C.
11. TACO BELL POLE SIGN & FOUNDATION BY SIGN SUPPLIER.
12. DOUBLE FACED ILLUMINATED DIRECTIONAL SIGN (SIGN FACE AS NOTED) BY SIGN SUPPLIER. FOUNDATION BY G.C. - PER DET. SHT. A1C.
13. MENU BOARD, SENSOR LOOP & SPEAKER PEDESTAL PER DETAIL BY SIGN SUPPLIER. FOUNDATION BY G.C. - PER DET. SHT. A1C.
14. INSTALL 400 WATT METAL HALIDE YARD LIGHT PER DETAIL SHT. A1C.
15. INSTALL GUARD POST PER DETAIL SHT. A1C.
16. INSTALL 9'-0" LONG P.C.C. WHEELSTOPS PER DETAIL SHT. A1C.
17. PAINT 24" HIGH LETTERS-YELLOW.
18. PAINT TRAFFIC ARROWS-YELLOW PER DETAIL SHT. A1C.
19. PAINT HANDICAP SYMBOL-WHITE ON BLUE BACKGROUND.
20. PAINT 4" WIDE SOLID STRIPE-YELLOW.
21. LANDSCAPE AREA SEE SHTS. L1, L2, & L3.
22. INSTALL TACO BELL FURNISHED CONCRETE TRASH RECEPTACLE.
23. INSTALL 1000 GAL. GREASE TRAP PER DETAIL SHT. A1C.
24. CONSTRUCT CURB NOSE PER DETAIL SHT. A1C.
25. INSTALL TIMER LOOP & MODIFIED CURB AT D.T. WINDOW PER DETAIL SHT. A1C.
26. CONSTRUCT TYPICAL CATCH BASIN PER DETAIL SHT. A1C.
27. FLAG POLE PER DETAIL SHT. A1C.

## LEGEND

— 6" SS —	PROPERTY LINE
— 8" W —	EXISTING 6" SANITARY SEWER LINE
— 12" SS —	EXISTING 8" WATER MAIN
— 2" G —	EXISTING 12" STORM SEWER
— 2" G —	EXISTING 2" GAS MAIN
— 2" G —	EXISTING POWER POLE & O.H. ELECTRIC LINES
— 2" G —	EXISTING GUY WIRE & ANCHOR
— 2" G —	EXISTING CONTOUR & ELEVATION
— 2" G —	PROPOSED FINISH GRADE CONTOUR & ELEVATION
— 2" G —	PROPOSED 6" SANITARY SEWER LINE
— 2" G —	PROPOSED 1 1/2" WATER LINE
— 2" G —	PROPOSED 2" GAS LINE
— 2" G —	PROPOSED UNDERGROUND ELECTRIC SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
— 2" G —	PROPOSED 2" CONDUIT FOR TELEPHONE SERVICE
— 2" G —	PROPOSED 12" STORM DRAIN LINE
— 2" G —	PROPOSED DIRECTION OF DRAINAGE FLOW ARROW
XXXXX	EXISTING ELEVATION
XXXXX	PROP. TOP OF CURB & FINISHED GRADE ELEV.
□	PROPOSED 400 WATT METAL HALIDE YARD LIGHT
—	PROPOSED DRAINAGE SWALE

## DIRECTIONAL SIGN SCHEDULE (1)

A ENTER	J DRIVE-THRU ONLY
B EXIT	K THANK YOU
C ENTER	L WELCOME
D EXIT	M RIGHT TURN ONLY
E EXIT ONLY	N LEFT TURN ONLY
F EXIT ONLY	O BLANK
G DO NOT ENTER	P DRIVE THRU-PASSENGER PICKUP
H DRIVE-THRU	Q DRIVE THRU-DRIVER PICKUP
I DRIVE-THRU	R

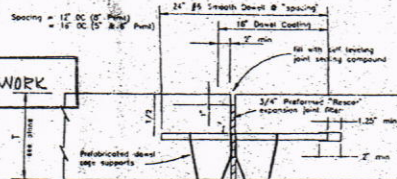
CONST. AS EXISTING, REF. TO REV. 3 & ELEVATIONS  
SHEET A-7 FOR NEW WORK

Benchmark - Finish Floor of the Pace Store  
Elevation 603.00.

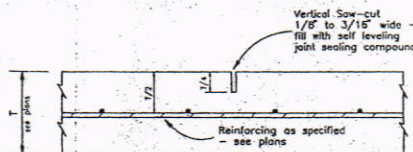
EX. PACE  
WAREHOUSE  
STORE  
FF = 603.00

8" SAN (SEE NOTE 6)

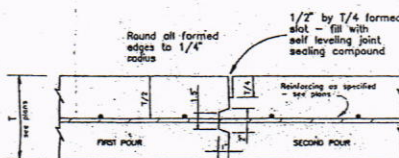
8" SAN (SEE NOTE 6)



EXISTING  
Expansion Joint - Concrete Pavement  
NTS



EXISTING  
Sawed Contraction Joint  
NTS



EXISTING  
Construction Joint  
NTS

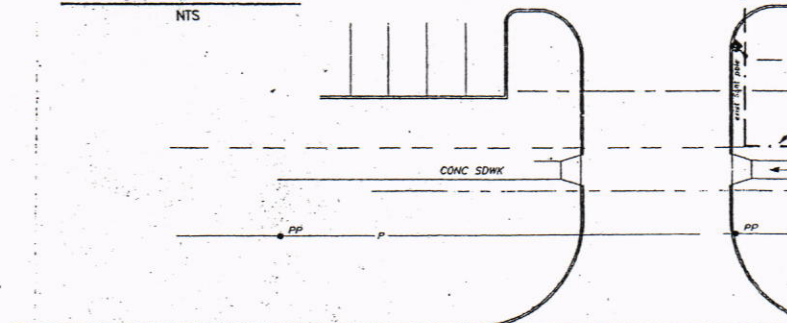


Exhibit "A"  
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3D



NOTE: ALL CONSTRUCTION AS EXISTING

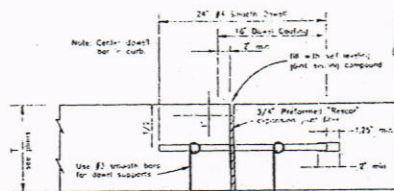
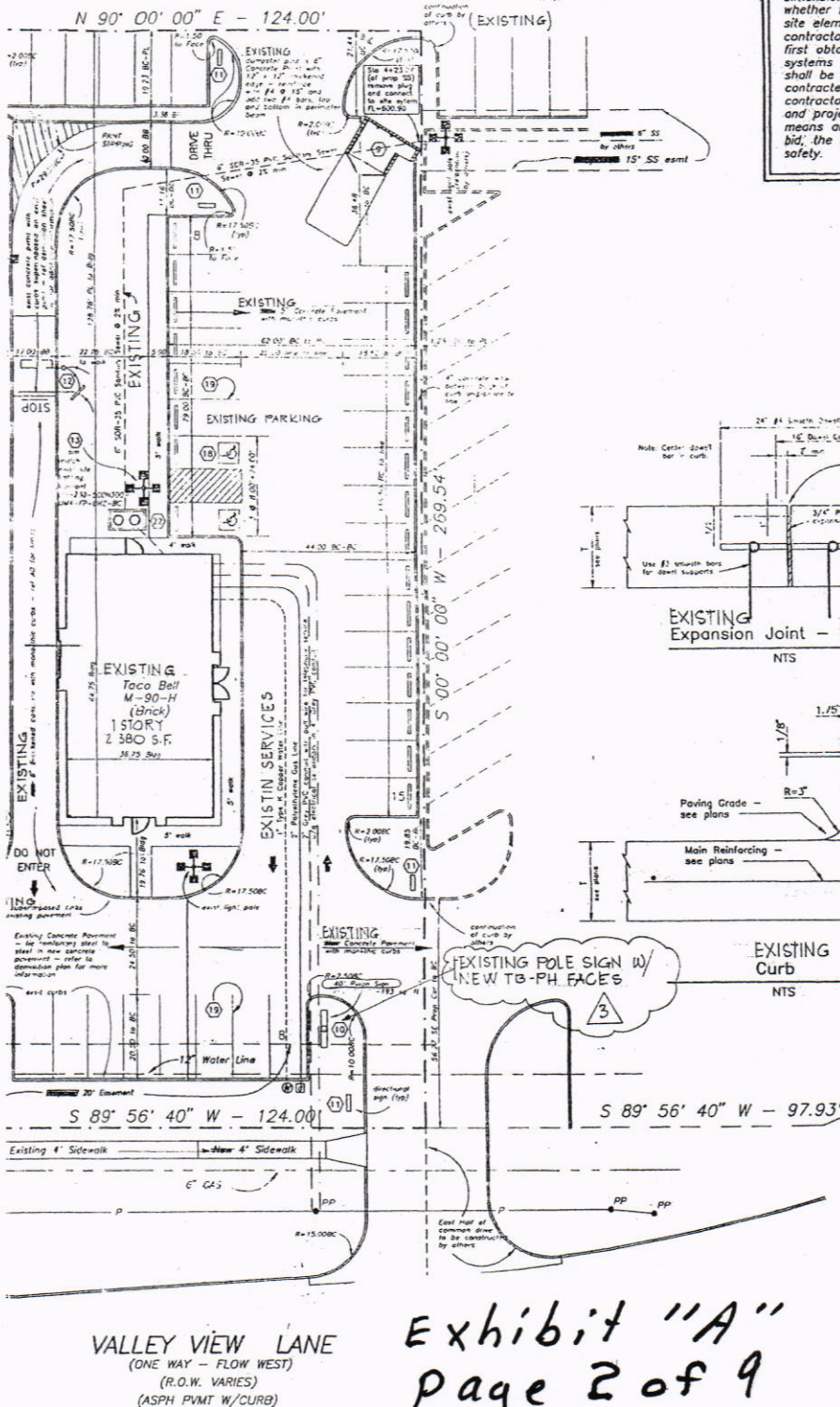
NOTE: Cross access easements are proposed to allow free passage between this lot and adjacent property to the east, north and west. Refer to the actual cross access easements for more detailed information.

Total Site Area = 33,416 sf  
Landscaping Required = 3,342 sf (10%)  
Landscaping Provided = 7,195 sf (22%)  
Building Area = 2380 sf  
Parking Required = 24 spaces  
Parking Provided = 31 spaces

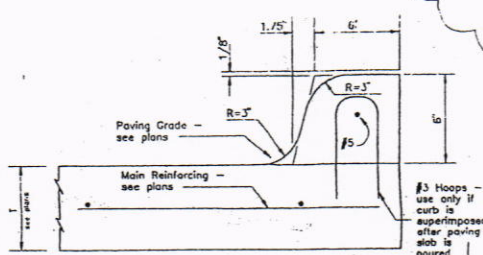
Handicap accessible curb ramps shall be provided with detectable warnings as specified in Section 4.29 of the ADA regulations. Detectable warnings shall consist of raised truncated domes with a diameter of nominal 0.9 in (23 mm), a height of nominal 0.2 in (5 mm) and a center to center spacing of nominal 2.35 in (60 mm) and shall contrast visually with adjoining surfaces, either light-on-dark or dark-on-light. The material used to provide contrast shall be an integral part of the walking surface.

TRENCH SAFETY NOTE:

If any trench on this job site, including open excavations whose dimensions cause them to be considered trenches by OSHA, regardless of whether for the installation of utilities, foundations or any other site element, is equal to or greater than 5.00' in depth, then the contractor shall not perform ANY trenching on this site until he has first obtained detailed plans and specifications for trench safety systems conforming to OSHA requirements. Such plans and specifications shall be prepared by a registered professional engineer employed by or contracted by the contractor and shall be considered a part of the contractor's means and methods of construction. The project architect and project engineer assume no responsibility for the contractor's means and methods of construction. If this project is offered for bid, the bids must contain a separate unit price pay item for trench safety.

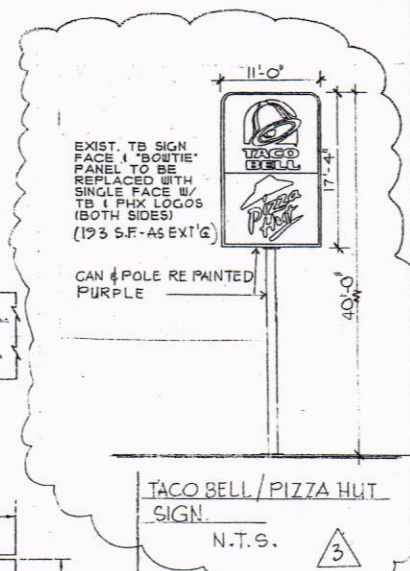


EXISTING Expansion Joint - Curb  
NTS

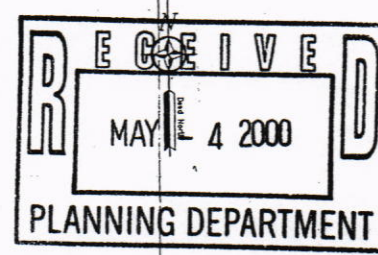


EXISTING Curb  
NTS

EXISTING POLE SIGN w/  
NEW TB-PH FACES



TACO BELL / PIZZA HUT  
SIGN  
N.T.S.



20 0 20 40 60  
SCALE = 1" = 20'-0"

Taco Bell Architecture & Engineering  
17901 Van Korman, Irvine, California 92714  
714/865-4690



SITE PLAN  
Valley View Lane  
Farmers Branch, Texas  
Taco Bell Site 05-1699

REVISIONS
12-31-92 General Revision
01-06-94 Per City comment
3-6-00 POLE SIGN REVISED

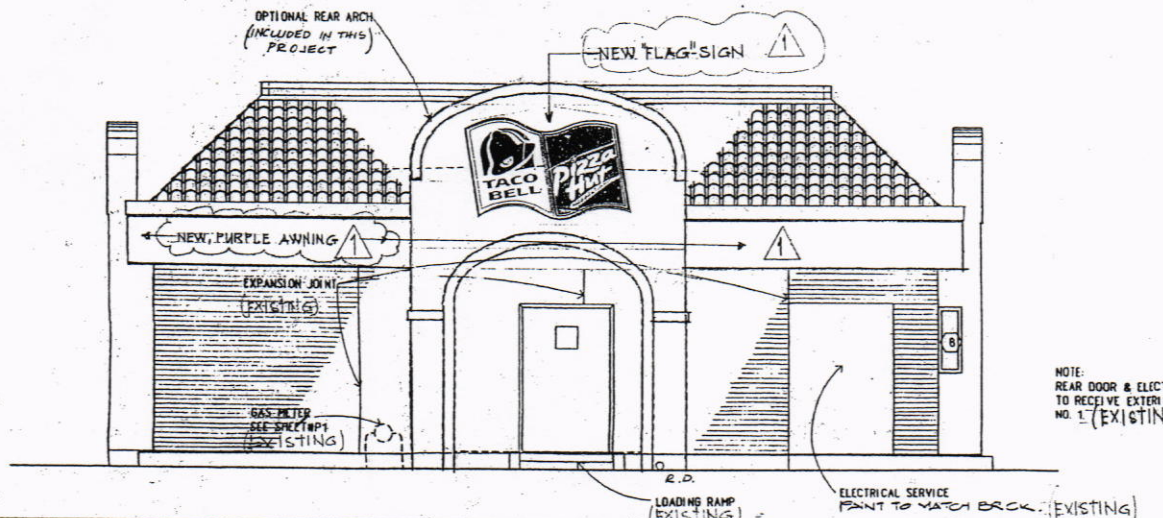
DRAWN BY:  
CHECKED BY:  
BUILDING TYPE  
M90H  
FRAME  
JOB NUMBER

DATE  
10-12-92

3E

Exhibit "A"  
Page 2 of 9





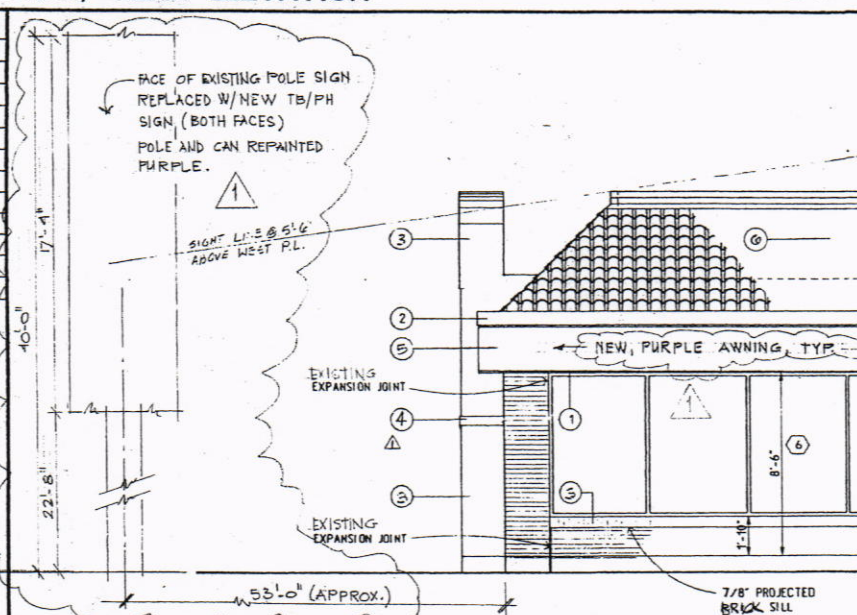
(NORTH) REAR ELEVATION

SCALE: 1/4" =

SURFACE	FINISH
PROJECTED SURROUNDS, PROJECTED BAND	(2)
FASCIA, FASCIA FLASHING	(2)
PARAPET FLASHING	(1)
LIGHT POLES	(2)
EXPOSED UTILITY PIPES AND CONDUIT	(1)
METAL DOORS AND FRAMES	(1)
SHEET METAL FASCIA TRIM	(1)
GAS METER AND ELECTRICAL SERVICE	(1)

FINISHES: ALL AS EXISTING BUT NEW AWNINGS, FLAG AND POLE SIGNS.

- BENJAMIN MOORE MOORGARD EXTERIOR LATEX NO. 403-1072 (6B-16)
- BENJAMIN MOORE MOORGARD EXTERIOR LATEX NO. 403-1120 (6B-16)
- ACME B-165 SHADOW GRAY MOD. VEL
- ACME BRICK BLDO GLACIER WHITE
- AWNINGS BY OTHERS (PURPLE CAN)
- LIFE TILE - BURNDT BURGENDY #2012



### EXTERIOR FINISH SCHEDULE

- NOTE: ALL CONST. AS EXISTING BUT NEW "FLAG" SIGNS, PURPLE AWNINGS & TB-PH SIGN FACES TO
- CAULK ALL WALL AND ROOF PENETRATIONS EXISTING POLE SIGN.
  - APPLY ONE COAT OF WATERPROOFING TO ALL HORIZONTAL STUCCO SURFACES ONLY.
  - SEE SPECIFICATIONS FOR NAILING AND REQUIREMENTS FOR 1/2" EXTERIOR GRADE PLYWOOD.
  - ALTERNATE MATERIALS ALUMINUM FRAMING:  
VISTA WALL (214) 551-6100  
U.S. ALUMINUM - PAUL ADLER (213) 268-4230
  - CAULK ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB (EXTERIOR AND INTERIOR).
  - ARCH RADIUS DIMENSIONS ARE GIVEN FOR GENERAL CONTRACTOR'S REFERENCE ONLY.
  - DOUBLE ROMAN CONCRETE ROOF TILE TO BE ORDERED FROM:  
LIFE TILE  
RIALTO, CA.  
TEL (714) 822-4407  
FLORIDA  
TEL (813) 676-9405  
KATY, TX  
TEL (713) 371-2634  
CASA GRANDE, AZ  
TEL (602) 836-8100

9. WOOD TO BE SELECTED (TMP-CHOICE) S4S.

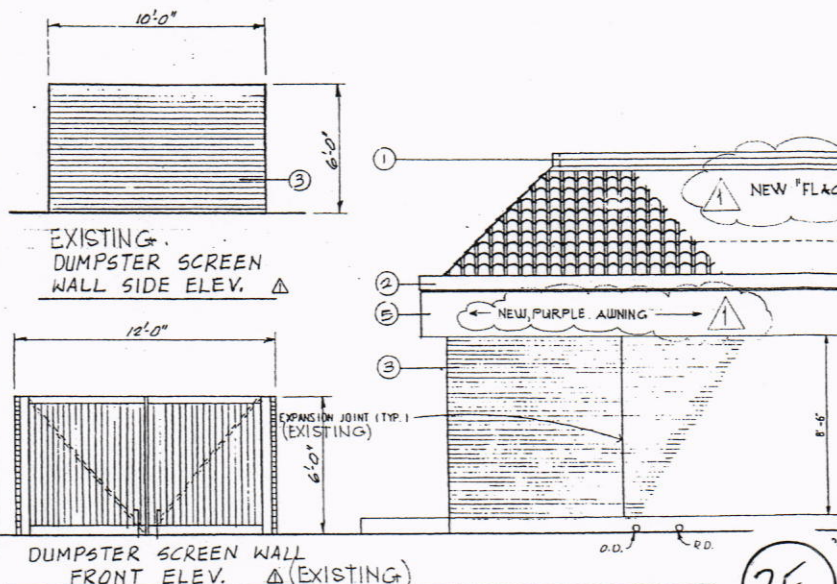
10. DE

11. MC

12. C

T

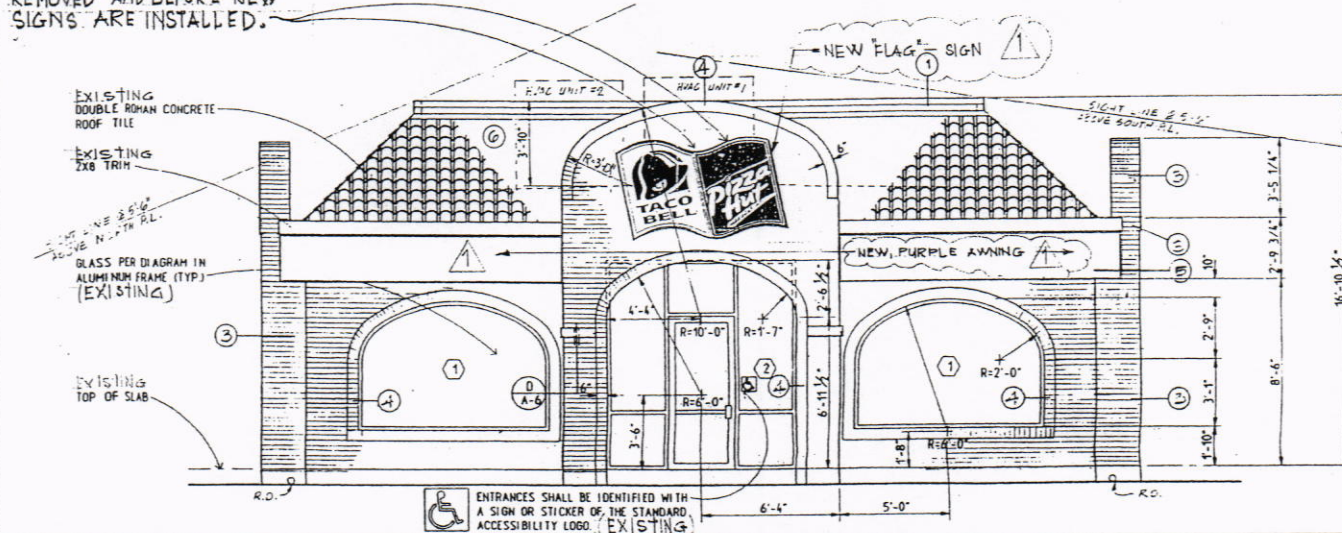
Exhibit "A"  
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3F



NOTE: EXISTING BRICK FINISH  
TO BE REPAIRED AS REQUIRED  
AFTER EXISTING SIGNS ARE  
REMOVED AND BEFORE NEW  
SIGNS ARE INSTALLED.

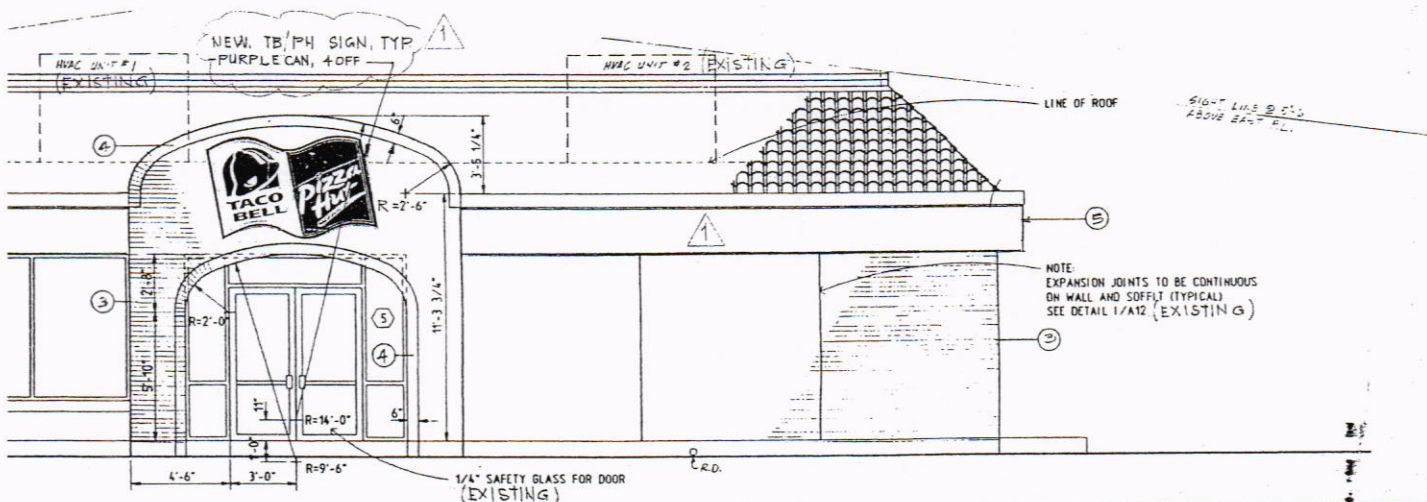
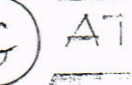
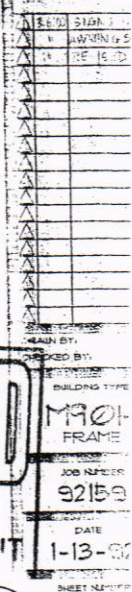
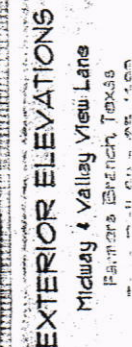


(SOUTH) FRONT ELEVATION

SCALE: 1/4" = 1'-0"

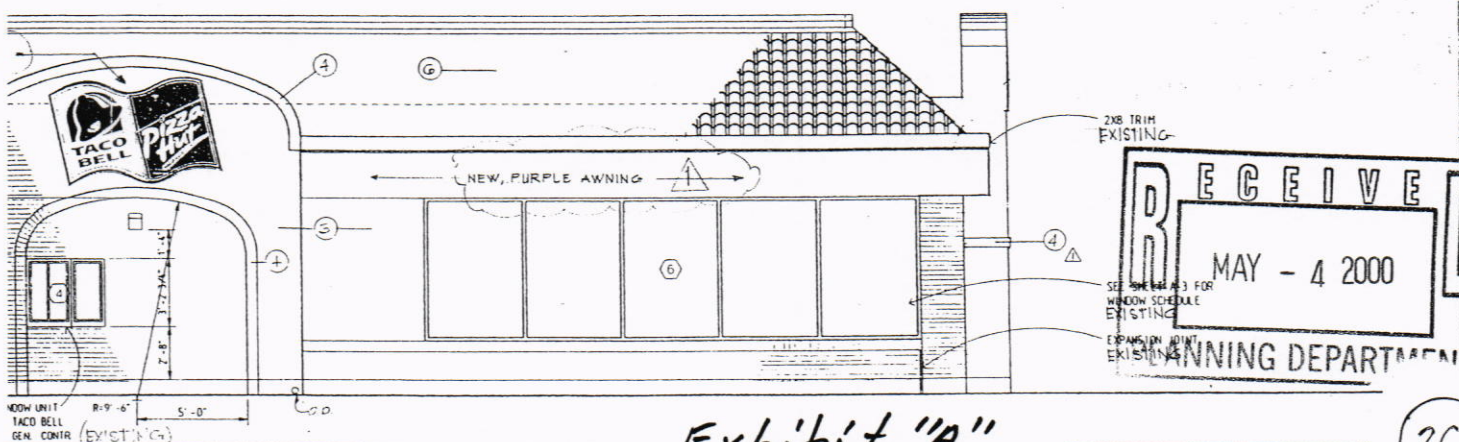


TACO BELL ARCHITECTURE & ENGINEERING  
TODD VON KARMAN, IRVINE, CALIFORNIA 92714  
(714) 863-4690



S 7) RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



57) LEFT SIDE ELEVATION

SCALE: 1/4"

Exhibit "A"  
Page 4 of 9



# GENERAL LANDSCAPE NOTES

1. Install and compact brown loam topsoil to minimum 4" depth in all lawn areas.
2. Backfill all trees and shrub beds with brown loam topsoil consisting of 3 bags of "back to Earth" soil conditioner per cubic yard of topsoil. Mix/till thoroughly. Backfill all beds with minimum 6" deep soil mix.
3. Stake shade trees with 6'-8" long metal tree posts, 3 per tree. Drive stake into undisturbed soil below tree hole. Do not disturb rootball. Guy tree with single strand, 12 Ga. galvanized wire. Use 1/2" hose to protect tree.
4. Construct 3" high water retention basin, 24" diameter, with brown topsoil. Backfill basin with 2" deep shredded bark mulch.
5. Install 2" deep Lava Rock (color selection by Taco Bell Project Manager) over weed barrier fabric in all shrub beds.
6. Install sod after irrigation system is operating.
7. Lay sod with no cracks or joints. Roll sod after installing.
8. Install metal edging 1" above top of sod mat and flush with top of curb or pavement.

## PLANT MATERIALS AND ACCESSORIES

- LO - Live Oak, 3" Cal. Min., 8' Min. Hgt., Container Grown
- CM - Crepe Myrtle, 7" min Hgt, 3 cones min, 5 cones max, "Watermelon Red"
- BP - Bradford Pear, 2" Cal. Min., 8' Min. Hgt., Branching Begins at 3'-0" Hgt above grade or higher
- SY - Shrub Yupon, 5 Gallon, 18" spread x 12" min Hgt
- Non - Common Nandina, match existing, 3'-0" O.C., 5 Gallon, 24" spread x 18" min Hgt
- DBH - Dwarf Burford Holly, 5 Gallon, 3' O.C., 24" spread x 18" min Hgt
- HB - Heavenly Bamboo, 5 Gallon, 24" min Hgt, 3 stalks min
- M.E. - Metal Edging
- Sod - Common Bermuda Sod, free of weeds
- AJ - Asian Jasmine, 4" Pot, min 4 runners each 8" long
- BL - Blue Liriope, 1 Gallon, Full Dark Green

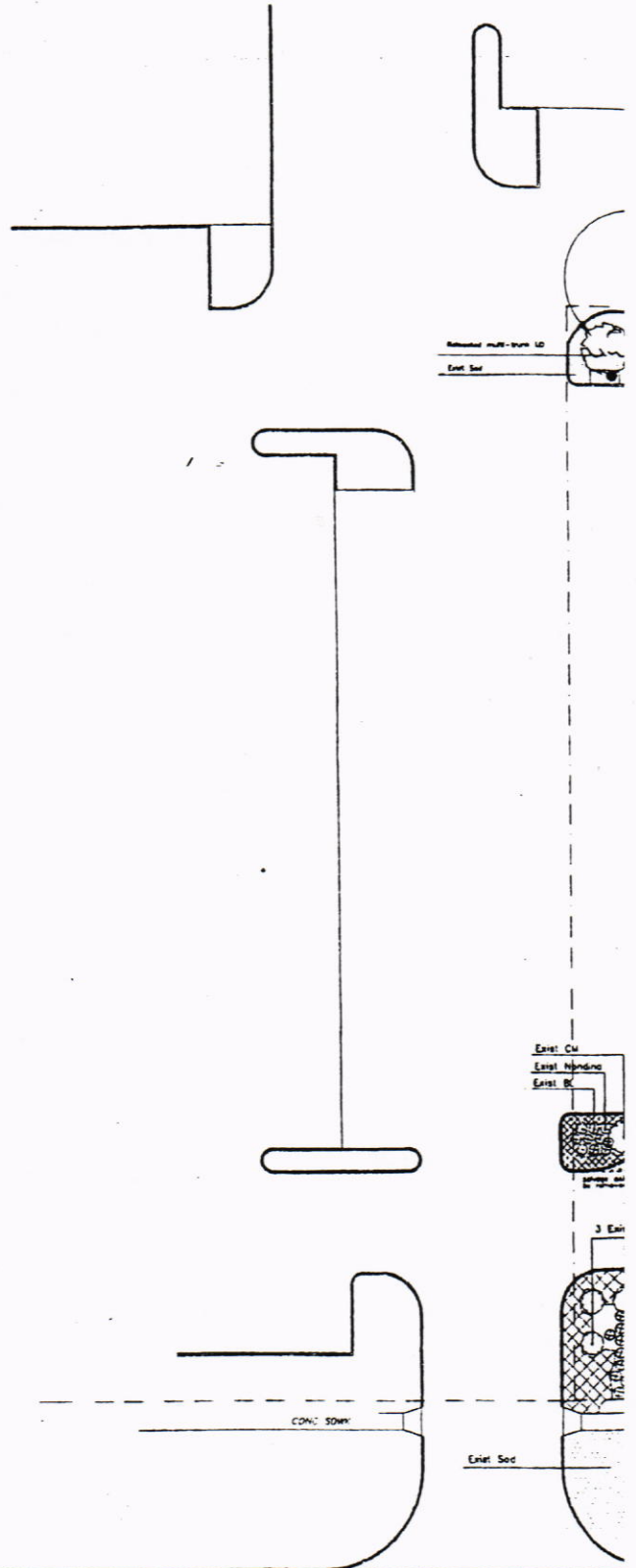
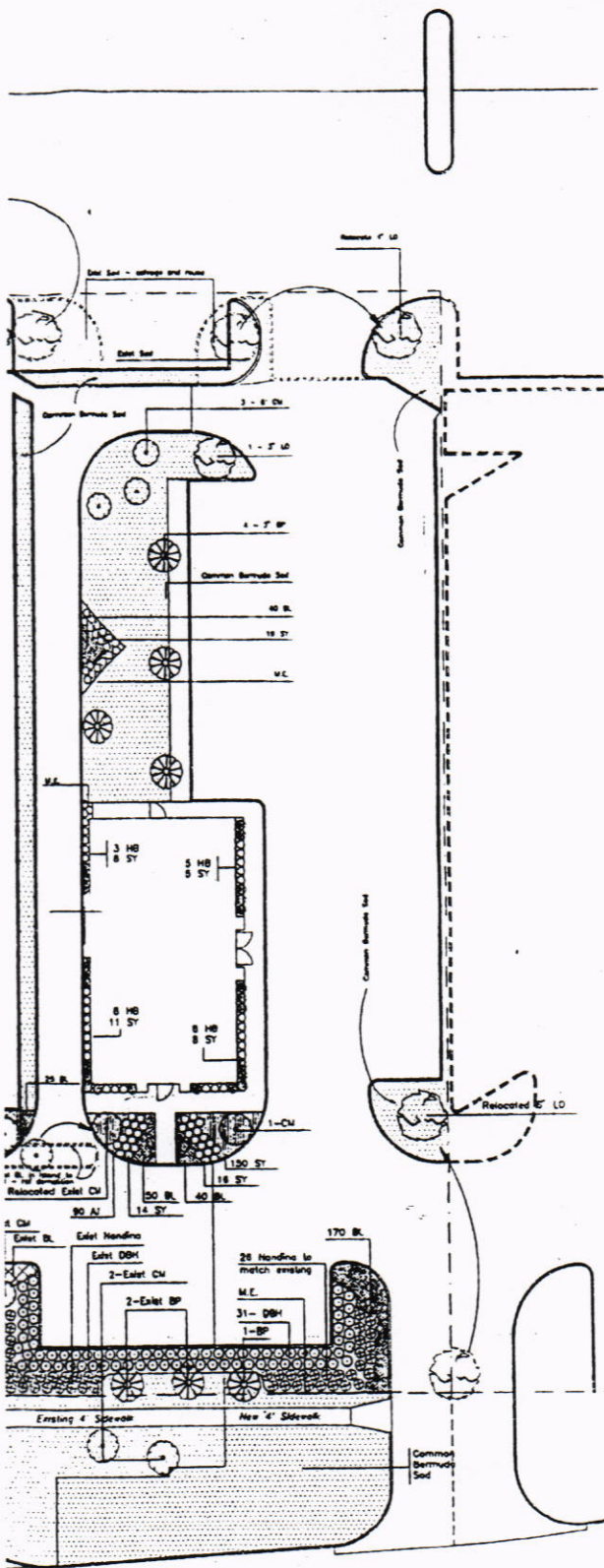


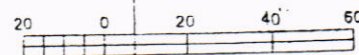
Exhibit "A"  
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VALLEY VIEW LANE  
(ONE WAY - FLOW WEST)  
(R.O.W. VARIES)  
(ASPH PAVT W/CURB)

Exhibit "A"  
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MIDWAY ROAD  
(100' R.O.W.)

Taco Bell Architecture & Engineering  
17901 Van Korman, Irvine, California 92714  
714/963-4690  
A.I.G., Inc.  
611 Ryan Plaza Drive #1139, Arlington, Texas 76010  
817/263-2415



# LANDSCAPE PLAN

Valley View Lane  
Farmers Branch, Texas  
Taco Bell Site 03-1695

## REVISIONS

1	10-11-18	10-11-18	10-11-18
2	10-11-18	10-11-18	10-11-18

DRAWN BY:  
CHECKED BY:

BUILDING TYPE:  
M90H  
FRAME

JOB NUMBER

DATE  
10-18-18

SHEET NUMBER

10

31





before



after

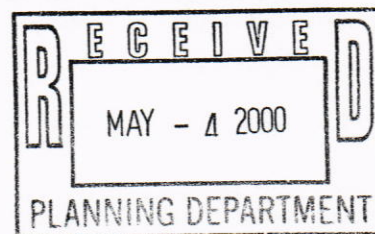


Exhibit "A"  
Page 7 of 9



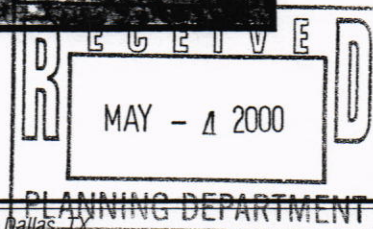


before



after

Exhibit "A"  
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3K





before



after

Exhibit "A"  
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